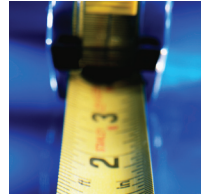


# UNIT DUES: Creating the Tools to Promote and Protect the State's Building Industry

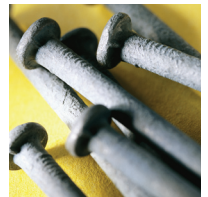
New Jersey's building industry is the most **HEAVILY REGULATED** in the nation. Every year, hundreds of proposals for new laws and new rules affecting the state's builders pour out of Trenton. The NJBA is the industry's voice; it promotes our objectives and protects our interests. The Unit Dues Program enables the NJBA to represent builders in the legislature, before the courts and in state agencies. The NJBA is the builders' voice -- the builders' only voice -- in Trenton.

**LEGISLATION:** The state legislature reviews hundreds of bills that affect every aspect of the building industry in New Jersey. Many of these would, if enacted, increase regulatory burdens and inflate the cost of doing business or even prevent building altogether. Others, many drafted by the NJBA, would streamline the approval process, incorporate reliability into the approval process, and increase affordability. In the continuing debate over laws governing the building industry, the NJBA is the builders' only voice in Trenton.



**ENVIRONMENTAL:** Environmental regulations and policies are being increasingly used as a means to stop building without technical basis. Rules restricting development are constantly expanding and evolving, with significant implications for the building industry. The NJBA is involved in all aspects of the adoption and administration of the environmental regulations affecting water supply, water quality, endangered species, wetlands, wastewater and stormwater discharges, site remediation, coastal protection, air quality, soil conservation and a host of other issues bearing directly on development. In seeking to balance the demands for environmental protection with housing affordability, the NJBA is the builders' only voice in the regulatory arena.

**LAND USE AND PLANNING:** The NJBA is at the forefront in promoting housing affordability, protecting property rights, and providing areas for people to live and work. The NJBA is promoting balance in land use regulation in the Highlands, Pinelands, Meadowlands, and statewide. In addition, NJBA is at the vanguard of assuring, including through litigation, that there are decent affordable housing opportunities. The NJBA is the builders' only voice in assuring that there is balance in the state's land use regulations.

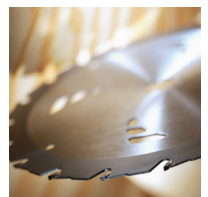


**REDEVELOPMENT:** Redevelopment is providing major opportunities for the building industry of the state. Though official state policy encourages redevelopment, NJBA works to ensure that the state does not take away redevelopment opportunities through its statutes and regulations. Environmental protections need enforcement in a manner that ensures that there are building opportunities for the sake of the economy of the state.

**CODES:** Building codes are constantly evolving from the influence of new technologies and construction philosophies. NJBA keeps a watchful eye on these changes at both the state and national levels. Defending the balance between safety and affordability, the potential economic consequences of proposed changes are scrutinized, ensuring representation of builders' interests and homebuyers' needs. NJBA is an educational resource, providing assistance and guidance on code interpretations, technical concerns and enforcement issues. The NJBA is the builders' only voice in code development.



**LITIGATION:** The NJBA's presence before the state's courts has increased rapidly in recent years. NJBA's defense of the building industry in the courts extends well beyond challenges to the manner in which state agencies regulate housing in New Jersey. The Association has filed or supported numerous challenges to municipal ordinances and state agency regulations that illegally impede housing opportunities or unduly inflate housing costs.



If you have any questions concerning the Unit Dues Program, please contact Pauline Magnotti at (609) 570-2165.

200 American Metro Boulevard, Suite 123, Hamilton, NJ 08619

# NJBA UNIT DUES SCHEDULE

## BASE ASSESSMENTS

Each member is assessed a flat fee of \$80.00, invoiced by their local association. The Base Assessment is credited against the first \$80.00 of Unit Assessments.

## UNIT ASSESSMENTS

All unit assessments are payable upon closing of the home. The NJBA will invoice you.



<b>FOR-SALE HOUSING</b> (per unit, new construction) (\$30.00 minimum per unit)	\$.045 per \$100 of Sales Price
<b>NON-RESIDENTIAL</b> (commercial, industrial, recreational) computed at \$.015 per square foot per building. Maximum per building	\$2,500.00
<b>RENTAL</b> (per apartment, new or rehab)	\$18.00
<b>LAND</b>	
Per Raw Lot	\$5.00
Per Finished Lot	\$10.00
<b>ANNUAL CAP</b>	\$30,000.00

## NJBA RECENT ACCOMPLISHMENTS

- Brownfield Redevelopment Amendments
- Construction Code Freeze/Flex
- Council of Economic Advisors
- Decoupling of Code Inspection Fees
- Dedication of Building Code Fees
- Off-Site Disclosure Legislation
- Escrow Accountability Standards
- Long Term Tax Abatement
- Map Filing Law Amendments
- Housing Incentive Finance Act
- Improved State Highway Access Management Code
- Legislative Oversight of Regulations
- Lien Law Revisions
- Municipal Acceptance of Dedicated Improvements
- New Home Warranty Oversight
- New Home Warranty Registry
- Performance Guarantee Reduction Methodology
- Rent Control Exemption for New Apartments
- Original Permit Extension Act (and Renewal)
- Phased Payment of Site Inspection Fees
- Prototype Plan Reviews
- Residential Site Improvement Standard (RSIS)
- Methodology on "Mt. Laurel" Linkage Fees
- Standardized Bond Language
- Uniform Guarantee Language
- Wetlands Exemptions Reinstated
- Pesticide Remediation Protocols
- DEP Management Measures
- Cap on CAFRA/Waterfront Fees
- Timely Zoning Permits
- Rescinded DEP's Septic Rule
- Terminated DEP's Housing Ban
- Blocked Non-Consensus Codes
- Blocked Advance Collection of Connection Fees
- Blocked No-Growth Coastal Commission
- Blocked Excessive UCC Penalties
- Blocked Discriminatory Educational Impact Fees
- Blocked Government Pre-emption on Land Sales
- Blocked Initiative & Referendum
- Blocked Mandatory Noise Abatement Measures
- Blocked "Timed Growth"
- Blocked Municipal Building Bans
- Blocked Redundant County Planning
- Blocked Redundant Regional Reviews
- Blocked Unworkable Transfer of Development Rights
- Eliminated Third Party Appeals on DEP Permits
- Eliminated Co-Permittee Requirements
- Protected Principles of Fair Housing
- Terminated COAH Third Round Rules
- Forced State Agencies to Meet Affordable Housing Obligations
- Guidance on DKM Decision
- New Building Code Awareness
- Reasonable Energy Code Requirements
- Planned Real Estate Development Full Disclosure Act (PREDDFA) Registration Process
- Represented Builders' Interests in State Regulatory Processes
- The Permit Extension Act of 2008
- 2 1/2 Year Extension of Permit Extension Act
- Omnibus Economic Stimulus Act of 2009
- BPU Prevailing Wage Amendments
- Blocked HMFA Prevailing Wage Legislation
- Blocked Onerous Impact Fee TDR Legislation
- Critical Amendments to Solar Panel Legislation
- Conversion of Age Restricted Communities Act
- Conversion of Age Restricted Communities Act
- Time of Application Act



**BUILDING ON A HIGHER STANDARD**